Meadow Springs Pump Station Wells No. 1 and No. 2 RFCSP
Solicitation Number: CO-00637
Job No.: 22-6025

ADDENDUM 2
July 11, 2023

To Respondent of Record:

This addendum, applicable to work referenced above, is an amendment to the price proposal, plans and specifications and as such will be a part of and included in the Contract Documents. Acknowledge receipt of this addendum by entering the Addendum number and issue date on the space provided in submitted copies of the Respondent Questionnaire.

RESPONSES TO QUESTIONS

1. Do you have specs for the acoustic wall barriers on sheet C3.01, C4.01, C6.01, C6.02?
   Response: *Refer to new sheet C7.03 attached to this Addendum.*

2. Where will the water connection to the SAWS water mains be located?
   Response: *Contractor will be required to make a connection to the existing SAWS fire hydrant along Whisper Way approximately 175' south of the project site. Refer to revised sheet C2.01 attached to this Addendum. Contractor shall make application to SAWS for installation of a standard fire hydrant meter in accordance with current SAWS Utility Service Regulations.*

3. When will the acoustic walls be installed? Have details been prepared?
   Response: *Contractor to provide and install acoustic wall barriers as shown on drawings. Construction shall be as shown on new sheet C7.03 attached to this Addendum. Contractor shall install acoustic walls prior to starting drilling operations for each well.*

4. What are the maximum clearing limits?
   Response: *Refer to revised sheet C4.01 attached to this Addendum for limits of clearing. Contractor to minimize tree clearing as much as feasible. Contractor shall leave buffer of existing vegetation between acoustic walls, access drive and property limits as shown. Final clearing limits subject to review and approval by Engineer.*

5. Can the location of the project access road be changed to the existing driveway cut?
   Response*: Yes, see revised drawings C2.01, C2.02, C3.01, C4.01, C6.01, and C6.02 attached to this Addendum.*

6. What are the security requirements for the site?
   Response: *Contractor required to provide appropriate security fencing, gates, etc. as identified in SAWS General Conditions GC-5.3. Refer to Section 01 3553 Security Procedures and to Exhibit C of the Special Provisions.*

7. Due to the close proximity of the Project to residences, should Contractor plan on furnishing and installing sound walls?
   Response: *Contractor will be required to provide and install acoustic sound barrier walls. Refer to new sheet C7.03 attached to this Addendum.*

8. Please identify the preferred discharge point for the Pumping Test Discharge Water on the Site Plans.
   Response: *Refer to Sheet C3.01. Both well test discharge lines are to extend to the new rock berm shown on Sheet C3.01 west of the existing concrete culvert structure. Alignment and size of the well test discharge lines are responsibility of the Contractor.*

9. Due to the distance of the fire hydrants in the Subdivision from the Well Sites, can the Owner provide potable water Stub Out Pipe that is closer to the existing access driveway to the Project Site?
   Response: *See response to Question #2.*

10. Is there a preference on the Type of cement to be used during the grouting of the annular space between the casing and boreholes?
    Response: *The type of cement to be used will be Class H with sulfate resistance additives. Refer to revision to Section 33 2120 Par. 2.03 A below.*

11. The Bidders Package states Contractor will establish a San Antonio address. Will it be acceptable for Contractor to be based in Texas with an address outside of the greater San Antonio Area?
    Response: *Yes, this is acceptable.*

12. In Contract Responsibilities - Working Hours, it states NO Work will be allowed between the hours of 5 PM and 8 AM unless directed by Owner. This Project will require 24 hour per day and seven day per week activity. Does this requirement apply to this Project?
    Response:
    a. *Contractor will be allowed to work extended and/or continuous hours during the following phases of the project after permission is requested in writing by Contractor and approved by Owner per the G.Cs.*
        i. *Drilling of wells for casing and open hole*
        ii. *Cementing of wells*
        iii. *Installation of casing*
        iv. *Flushing and pumping tests of both wells*
        v. *Disinfection of wells, casing, etc.*
        vi. *SAWS and Engineer will individually review other requested work tasks.*
    b. *Contractor will be required to notify SAWS of other requests for extended hours outside of those phases identified above.*

13. There is language that states Contractor is to notify homes or businesses within 200 feet of the anticipated work area. Does this requirement apply to this specific project? If so, does SAWS have the addresses of the homes or businesses that will be affected by this Project?
    Response: *Refer to Section 01 1419, Use of the site. "Notification shall be not less than one (1) week or more than two (2) weeks prior to the work being performed within 300 feet of the homes or businesses. SAWS will provide addresses of the homes or businesses upon project award to the selected Contractor.*

14. In Project Management – Yard Maintenance, it states Contractor is responsible mowing the Owner's entire property. Does this requirement apply to this Project?
    Response: *Contractor will be required to maintain mowing and maintenance of areas within 30 feet of the access road and within 100 feet of Whisper Way.*

15. Temporary Facilities & Controls – there is a reference to Field Offices. Is the Contractor required to have Temporary Offices at the Project Site?
Response: *No.*

16. Please clarify the extent of Site Restoration the Contractor would be required to perform at the conclusion of the Well Construction Project.
Response: *Contractor's restoration of the site is limited to the removal of all excess construction materials, piping, equipment, removed vegetation, temporary controls, debris and temporary fencing construction including mow strip and footer columns. Contractor will be required to remove the first 60-feet of the project access drive connecting to Whisper Way, construction entrance and related erosion control materials. Contractor will not be required to remove or regrade materials used for the internal access drive, staging areas, etc., or the silt fences or rock berms used in the construction of the project.*

17. Specifications require 24' tall sound walls while the drawings show 16' minimum.
Response: *The Acoustic sound walls shall be 16' height. Refer to new Sheet C7.03 attached to this Addendum.*

18. Drawings show conductor must be .500" wall while specs call for .375" wall.
Response: *Conductor casing shall be 0.500". Refer to revision to Section 33 2120 Par. 2.02 B as noted below.*

19. Specs state both 6' and 8' tall chain link fence.
Response: *Security fence shall be 8' tall chain link per SAWS standards. Top of the fence shall have 3-strand barbed wires per SAWS standard details. Refer to revised sheet C7.02 attached to this Addendum.*

20. Specs state both 2-strand barbed wire as well as 3- strand barbed wire.
Response: *Fence shall have 3 strands of barbed wire*. Refer to SAWS standard details.

21. The cement is specified for sulfate resistant and Class A. These are conflicting. Can you specify one or the other.
Response: *See response to Question #10 above.*

CHANGES TO THE SPECIFICATIONS

1. Price Proposal. – Revised Bid Item #13 to reflect Type H cement. Remove the Price Proposal in its entirety and replace with the revised version attached to this Addendum. Respondents shall use the revised Price Proposal when submitting a proposal for this project. Failure to use the revised Price Proposal may result in the proposal being found non-responsive.

2. Section 01 2900 Par. 1.13 Item No. 13 – Delete reference to Class A Cement and replace with Class H Cement in the title of Item No. 13 and in the description.

   "Item No. 13: Furnish and Place API Class H Cement with Sulfate Resistance (incl. 30% excess)
   1. Description
   i. This item shall govern the furnishing and emplacing of API Class H cement with sulfate resistance into the annulus of the production casing and borehole."

3. Section 01 2900 Par. 1.13 Supplementary Item No. 36 – Delete reference to Class A cement and replace with Class H cement in the Description, second sentence.

"Cement shall be API Class H Portland Cement and submitted to Engineer for review."

4. Section 01 2900 Par. 1.13 Supplementary Item No. 37 – Delete reference to Class A cement and replace with Class H cement in the Description, second sentence.

   "Cement sack shall include API Class H Portland cement and any appropriate additives and shall be submitted to Engineer for review."

5. Section 33 2120 Par. 2.02 B Conductor Casing – Conductor casing shall be 0.500-inches thick Delete the first sentence in its entirety and replace with the following sentence.

   "Conductor Casing: The conductor casing shall be minimum 36-inch outside diameter (OD) with a minimum wall thickness of 0.500 inch and shall be carbon steel, spiral-weld pipe meeting the requirements of ASTM A139 or AWWA C200-17."

6. Section 33 2120 Par. 2.03 A Cement – Delete the first and second sentences in their entirety and replace with the following sentence.

   "Cement: Material used in annular grouting of the Conductor Casing shall be API Class H Portland "neat" cement. Production casing and borehole annular space shall be sealed with API Class H with sulfate resistance additives."

7. Section 33 2120 Par. 3.02 (E) - Delete reference to Class A cement and replace with Class H cement in the third sentence.

   "The conductor casing shall be cemented in place to surface with API Class H, "neat", Portland cement."

8. Section 33 2120 Par. 3.09 (B) - Delete reference to Class A cement and replace with Class H cement in the third sentence.

   "Cement shall be API Class H "Portland" or "neat" cement, "Method C2 – Positive Displacement-Exterior"."

CHANGES TO THE DRAWINGS

1. C0.00 Addendum #2 - Add sheet C7.03 to drawing list.

2. C2.01 Add Addendum #2 items, revised entrance location, identify potable water source location. Remove Sheet C2.01 in its entirety and replace with the Revised Sheet attached to this Addendum.

3. C2.02 Add Addendum #2 – revised entrance location and gravel drive alignment. Remove Sheet C2.02 in its entirety and replace with the Revised Sheet attached to this Addendum.

4. C3.01 Add addendum #2 – revised entrance location and gravel drive alignment. Remove Sheet C3.01 in its entirety and replace with the Revised Sheet attached to this Addendum.

5. C4.01 Add Addendum #2 – revised entrance location, revise gravel drive alignment, add clearing limits for vegetation. Remove Sheet C4.01in its entirety and replace with the Revised Sheet attached to this Addendum.

6. C6.01 Add Addendum #2 – revised entrance location and gravel drive alignment. Remove Sheet C6.01 in its entirety and replace with the Revised Sheet attached to this Addendum.

7. C6.02 Add Addendum #2 – revised entrance location Remove Sheet C6.02 in its entirety and replace with the Revised Sheet attached to this Addendum.

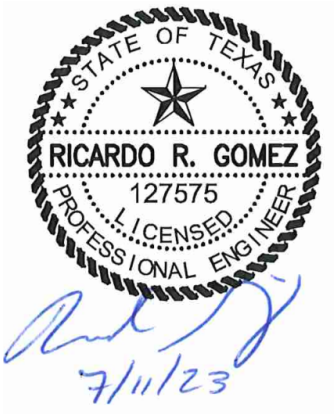
8. C7.02 Add Addendum #2 – revise fence detail description Remove Sheet C7.02 in its entirety and replace with the Revised Sheet attached to this Addendum.

9. C7.03 Addendum #2 - Add this sheet to project drawings. Add Sheet C7.03 attached to this Addendum.

END OF ADDENDUM 2

This Addendum is eighteen (18) pages in its entirety including its attachments.

Attachments:



P:\116\50\01\Word\Addenda\Addendum #2\CO-00637_Addendum 2_Draft_7_11_.23.docx

PRICE PROPOSAL

PROPOSAL OF _____, a corporation a

partnership consisting of _____

an individual doing businessas _____

THE SAN ANTONIO WATER SYSTEM:
Pursuant to Instructions and Invitation to Competitive Sealed Proposals, the undersigned proposes to furnish all labor and materials as specified and perform the work required for the project as specified, in accordance with the Plans and Specifications for the following prices in the Price Proposal to wit:

PLEASE SEE ATTACHED LIST OF PRICE ITEMS.

_____
RESPONDENT'S SIGNATURE & TITLE FIRM'S

_____
NAME (TYPE OR PRINT)

_____
FIRM'S ADDRESS

_____
FIRM'S PHONE NO. /FAX NO.

_____
FIRM'S EMAIL ADDRESS

The Contractor herein acknowledges receipt of the following:
Addendum No(s). _____

OWNER RESERVES THE RIGHT TO ACCEPT THE OVERALL MOST RESPONSIBLE PROPOSAL.

The Respondent offers to construct the Project in accordance with the Contract Documents for the contract price, and to complete the Project within **540** calendar days after the start date, as set forth in the Authorization to Proceed. **The Respondent understands and accepts the provisions of the contract Documents relating to liquidated damages of the project if not completed on time.**

Complete the additional requirements of the Price Proposal which are included on the following pages.

Statement on President's Executive Orders

Has your firm previously performed work subject to the President's Executive Orders Numbers 11246 and 11375 or any preceding similar executive orders (Numbers 10925 and 11114)? Yes ☐ No ☐

Item No.	Description	Unit	Quantity	Unit Price	Total Price
1	Misc. TPDES/SWPPP erosion control practices – including silt fencing for project, maintain permits, submit NOI, NOT, complete	LS	1	$_____	$_____
2	Drilling Rig set up, complete	EA	2	$_____	$_____
3	Install Nominal 36-inch Diameter Conductor Casing to a depth of 120' BGS	LF	240	$_____	$_____
4	Drill Upper Interval Pilot Borehole (2 each at 750 feet)	LF	1,500	$_____	$_____
5	Drill Pilot Borehole – Open Hole Interval (from ~750' BGS to ~1,000' BGS)	LF	500	$_____	$_____
6	Pilot Borehole Geophysical Logging Suite Run 1	EA	2	$_____	$_____
7	Ream Upper Borehole (~0' BGS to ~750' BGS) to a minimum of 30-inch diameter (2 each at 750 feet)	LF	1,500	$_____	$_____
8	Ream Lower Pilot Borehole (Open Hole Interval) to a minimum of 18-inches diameter (from ~750' BGS to ~1,000'BGS)	LF	500	$_____	$_____
9	Gyroscopic Alignment/Caliper survey of reamed borehole	EA	2	$_____	$_____
10	Furnish and install 24-inch OD Casing (2 each at 750 feet), ASTM A606, Type 4	LF	1,500	$_____	$_____
11	Gyroscopic Alignment survey of pump chamber casing to 200-ft below ground surface	EA	2	$_____	$_____
12	Pilot Borehole Geophysical Logging Suite Run-2	EA	2	$_____	$_____
13	Furnish and Place API Class H Cement with Sulfate resistance (includes 30% excess)	CF	4,600	$_____	$_____
14	Drilling Fluid, complete	LS	1	$_____	$_____
15	Furnish and install 20,000 gallons of 28% hydrochloric acid in production borehole	EA	2	$_____	$_____
16	Remove and Dispose of Acid Residue	EA	2	$_____	$_____
17	Stepped Discharge Pumping Test (10-hours each)	EA	2	$_____	$_____
18	Constant-Pumping test 36-hour, complete	EA	2	$_____	$_____

Item No.	Description	Unit	Quantity	Unit Price	Total Price
19	Water quality sampling and analyses	EA	2	$_____	$_____
20	Well Disinfection, complete	EA	2	$_____	$_____
21	Final well color video log, complete	EA	2	$_____	$_____
22	Construct well concrete sealing block, complete	EA	2	$_____	$_____
23	Miscellaneous site improvements, including access drive, temporary culvert, complete	LS	1	$_____	$_____
24	Acoustical Sound Wall Barrier for well activities (400 lf per well)	EA	2	$_____	$_____
25	Security fencing and gate, complete	EA	2	$_____	$_____
26	Post Processing of geophysical logging data	EA	2	$_____	$_____
SUBTOTAL (ITEMS 1 – 26)				**$_____**	
27	Subsurface Utility Location Allowance	ALW	1	$10,000	$10,000
28	Miscellaneous Local Permitting Allowance	ALW	1	$10,000	$10,000
29	Intermediate Demobilization and Remobilization, complete	EA	1	$_____	$_____
30	Acidizing in excess of 20,000 gallons, 28% hydrochloric acid in production borehole	GAL	2000	$_____	$_____
31	Standby Time at the direction of the Engineer/SAWS	HR	96	$_____	$_____
32	Abandonment of 10” Pilot Borehole at direction of Engineer/SAWS	LF	1000	$_____	$_____
33	Drilling rig time for unforeseen conditions	HR	96	$_____	$_____
34	Drilling fluids for unforeseen conditions	BARREL	200	$_____	$_____
35	100-sack cement plug	EA	2	$_____	$_____
36	Cement	SACKS	200	$_____	$_____
37	Haul off and disposal of excess drilling fluids or cement	BARREL	200	$_____	$_____
38	**Item 100 - Mobilization and Demobilization, Max 8% of Subtotal Line Items 1 - 26**	LS	1	$_____	$_____

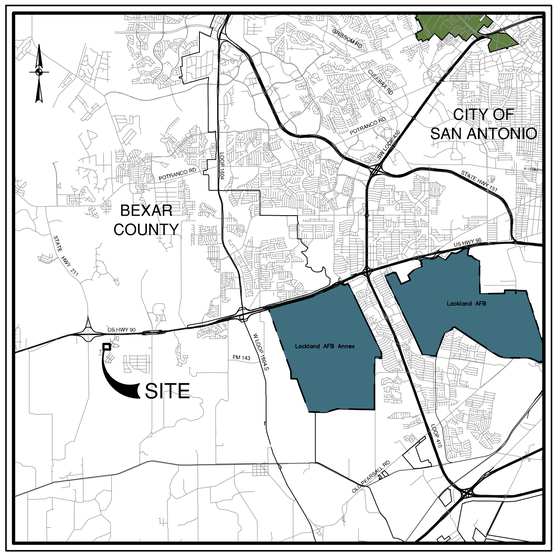
MOBILIZATION AND DEMOBILIZATION LUMP SUM BID SHALL BE LIMITED TO A MAXIMUM 8% OF THE TOTAL SUM OF ITEMS 1-26. **IN THE EVENT OF A DISCREPANCY BETWEEN THE WRITTEN PERCENTAGE AND THE DOLLAR AMOUNT SHOWN FOR MOBILIZATION AND DEMOBILIZATION, SAWS RESERVES THE RIGHT TO CAP THE AMOUNT AT THE PERCENTAGE SHOWN AND ADJUST THE EXTENSION OF THE BID ITEM ACCORDINGLY.**

TOTAL PROPOSAL PRICE (TO INCLUDE LINE ITEMS 1 – 38)	$

NO.	REVISION	DATE
1	ADD ACOUSTIC SOUND WALL	06/30/23
2	ADDENDUM NO. 2	07/06/23

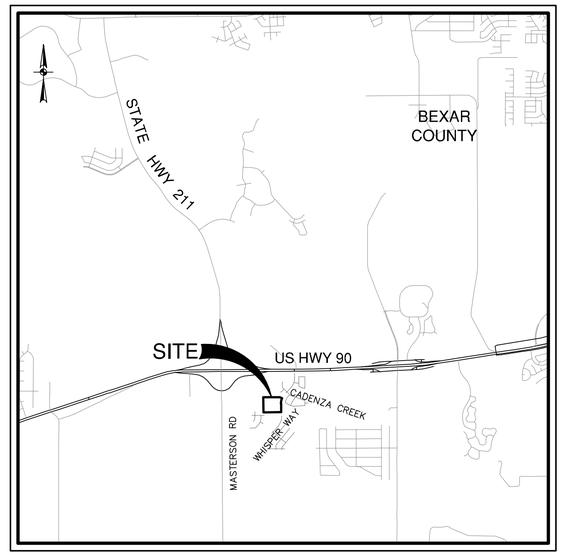
MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
CIVIL CONSTRUCTION PLANS

SAWS JOB # 22-6025



VICINITY MAP

NOT-TO-SCALE



LOCATION MAP

NOT-TO-SCALE

SHEET INDEX

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.01	GENERAL NOTES SHEET 1
C1.02	GENERAL NOTES SHEET 2
C2.01	OVERALL SITE PLAN
C2.02	GENERAL ACCESS PLAN
C3.01	STORMWATER POLLUTION PREVENTION PLAN
C3.02	STORM WATER POLLUTION PREVENTION DETAILS
C4.01	TREE PRESERVATION PLAN SHEET 1
C4.02	TREE PRESERVATION PLAN SHEET 2
C5.01	EXISTING CONDITIONS & DEMOLITION PLAN
C6.01	OVERALL DIMENSION CONTROL PLAN
C6.02	DIMENSION CONTROL PLAN
C7.01	WATER WELL PROFILE DETAIL
C7.02	SECURITY FENCE CONSTRUCTION
C7.03	ACOUSTIC SOUND WALL BARRIER DETAILS

2

PREPARED FOR:

LENNAR HOMES OF TEXAS, INC
1922 DRY CREEK WAY, SUITE 101
SAN ANTONIO, TEXAS 78259

MARCH 2023

PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
4/6/2023

STATE OF TEXAS
KIM KEEFER
117744
LICENSED
PROFESSIONAL ENGINEER
4/6/23

WATER (SAWS PRESSURE ZONE 930)

Developer's Name: Lennar Homes of Texas, Inc.
Address: 1922 Dry Creek Way, Suite 101
City: San Antonio State: Texas ZIP: 78259
Phone# xx FAX# xx
SAWS Block Map# xx Total EDU's xx Total Acreage 13.96
Total Linear Footage of Pipe: 0 LF Plat No. xxxxxx
Number of Lots: N/A SAWS JOB NO. 22-6025

SHEET C0.00

PD JOB NO. 11650-00 MEADOW SPRINGS WPF WELLS #1 AND #2

Date: Jul 11, 2023, 8:48am User ID: dlaughlin
File: P:\11650\00\Design\Civil\Sheets\Well Sheets\CGW-1165000.dwg

SCALE: 1"= 50'

0' 50' 100' 150'

LEGEND

- PROPERTY LINE
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED UNDERGROUND ELECTRIC
- CHAIN–LINK SECURITY FENCE
- PROPOSED PIPING
- FUTURE PIPING
- TEMPORARY GRAVEL DRIVE
- PROPOSED FIRE HYDRANT
- EXISTING TREE TO REMAIN

NOTES:

1. FILTER OR SETTLE WATER IN ACCORDANCE WITH THE CITY OF SAN ANTONIO TEMPORARY EROSION, SEDIMENT & WATER POLLUTION CONTROL MEASURE STANDARDS. NOTIFY AUTHORITIES PRIOR TO DISCHARGE.
2. COORDINATES OF PROPOSED WELLS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATION OF WELLS. COORDINATES SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND DOCUMENTED BY CONTRACTOR.
3. CONTRACTOR SHALL GRADE THE AREA AROUND THE NEW WELLS AS SHOWN IN THIS DRAWING.

WATER (SAWS PRESSURE ZONE 930)

Developer's Name: Lennar Homes of Texas, Inc.
Address: 1922 Dry Creek Way, Suite 101
City: San Antonio State: Texas ZIP: 78259
Phone# xx FAX# xx
SAWS Block Map# xx Total EDU's xx Total Acreage 13.96
Total Linear Footage of Pipe: 0 LF Plat No. xxxxxx
Number of Lots N/A SAWS JOB NO. 22-6025

NO.	REVISION	DATE
2	ADDENDUM NO. 2	07/06/23

STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
Maurice Lee Niles
7/11/2023

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
OVERALL SITE PLAN

PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C2.01

Date: Jul 11, 2023, 8:49am User ID: claughlin
File: P:\1165\00\Design\Civil\Streets\Well Sheets\QUW-1165000.dwg

U.S. HIGHWAY 90

14 △743.02 SIRCTV

15 △741.02 SIRCTV

TREMOLO ECHO

STRASSE WAY

MEZZO BREEZE

WHISPER WAY

0.32 MILE

CADENZA CREEK

FORTE FALL

MAESTRO SPARK

CALLED 20.016 ACRES
RIGHT OF FIRST REFUSAL
(VOL. 12881, PGS. 1546–1555, O.P.R.)

REMAINDER OF CALLED 115.0 ACRES
SCHRAEDER FAMILY LIVING
REVOCABLE TRUST
(VOL. 8600, PGS. 897–900, O.P.R.)

CALLED 56.159 ACRES
RIGHT OF FIRST REFUSAL
(VOL. 12881, PGS. 1498–1504, O.P.R.)

REMAINDER OF 172.194 ACRES
ROY RUIZ
(VOL. 8190, PGS. 1533–1536, O.P.R.)

13.970 ACRES
CITY OF SAN ANTONIO WATER SYSTEMS
(VOL. 16719, PGS. 690–696, O.P.R.)

1075 FD. I.R.(MOY)

1002 FD. I.R.(PD)

1325 FD. I.R.(PD)

1326 FD. I.R.(PD)

PROPOSED WELL #2

FUTURE WELL #3

PROPOSED WELL #1

2213 MK 24M

BEXAR COUNTY

SITE

US HWY 90

CADENZA CREEK

WHISPER WAY

MASTERSON RD

CITY OF SAN ANTONIO

LOCATION MAP

NOT-TO-SCALE

SCALE: 1"= 100'

0' 100' 200' 300'

LEGEND

- PROPERTY LINE
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING OVERHEAD ELECTRIC
- CHAIN-LINK SECURITY FENCE

POINTS				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
14	13686063.85	2047036.19	743.02	SIRCTV
15	13686062.96	2047312.03	741.02	SIRCTV
1002	13684920.43	2046377.52	733.97	RIRC PD
1075	13684910.44	2045601.36	751.34	RIRC MOY
1325	13684195.10	2045610.23	745.70	RIRC PD
1326	13684195.70	2045610.12	745.69	RIRC PD

WATER (SAWS PRESSURE ZONE 930)

Developer's Name: Lennar Homes of Texas, Inc.
Address: 1922 Dry Creek Way, Suite 101
City: San Antonio State: Texas ZIP: 78259
Phone# xx FAX# xx
SAWS Block Map# xx Total EDU's xx Total Acreage 13.96
Total Linear Footage of Pipe: 0 LF Plat No. xxxxxx
Number of Lots N/A SAWS JOB NO. 22-6025

NO.	REVISION	DATE
2	ADDENDUM NO. 2	07/06/23

STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
3/1/2023

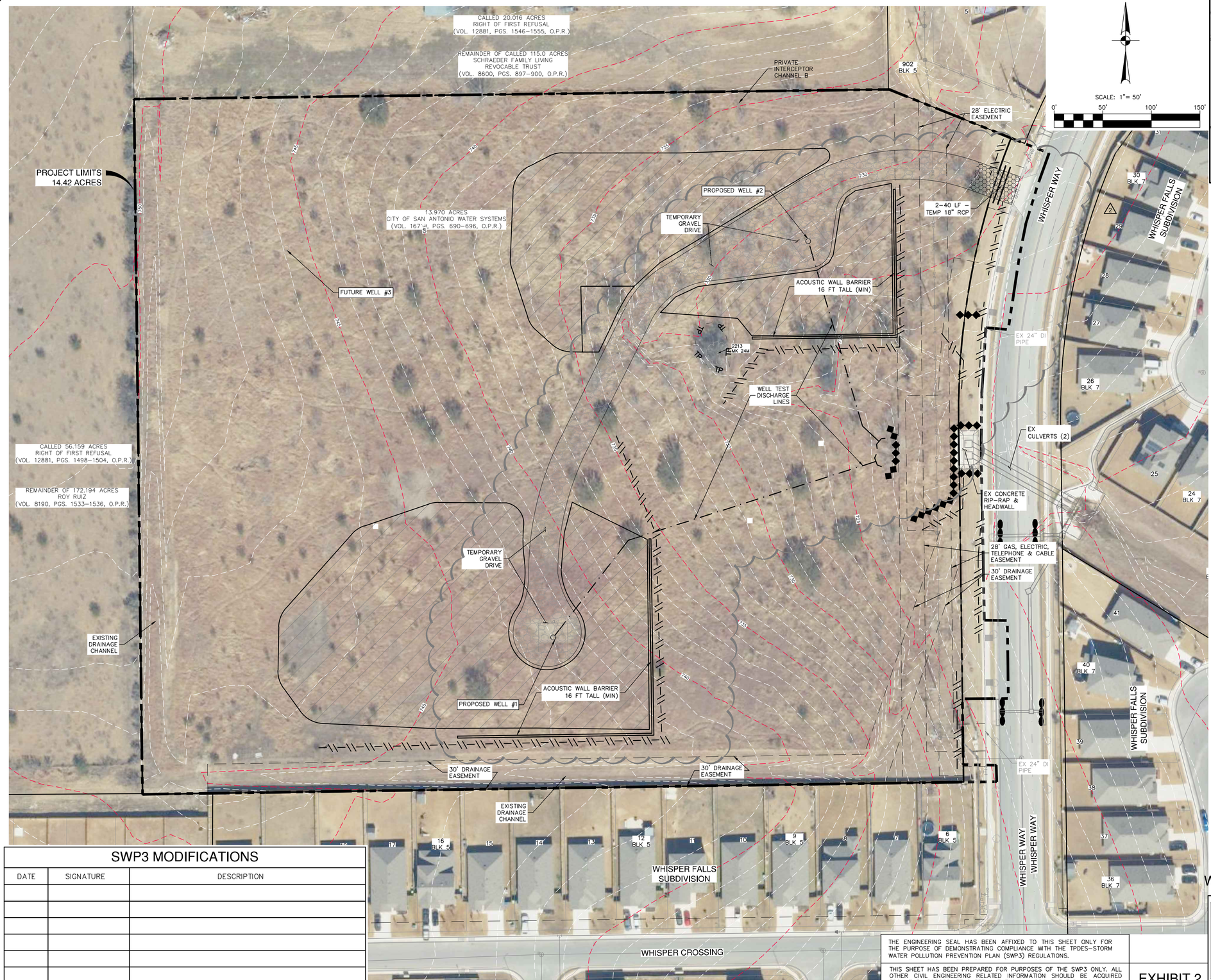
PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
GENERAL ACCESS PLAN

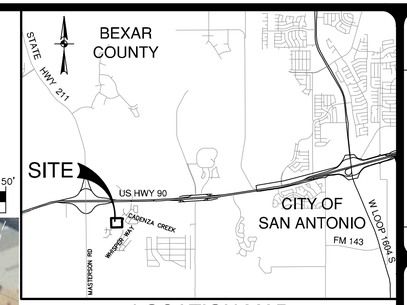
PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C2.02

Date: Jul 11, 2023, 8:49am User ID: dlaughlin
File: P:\116\50\00\Design\Civil\Streets\0L01-1165000.dwg



SCALE: 1"= 50'

0' 50' 100' 150'



LOCATION MAP

NOT-TO-SCALE

LEGEND

- PROJECT LIMITS
- EXISTING GRADE
- 910 PROPOSED GRADE
- FLOW ARROW (EXISTING)
- FLOW ARROW (PROPOSED)
- TP – TP – TP – TREE PROTECTION
- SILT FENCE
- ROCK BERM
- GRATE INLET PROTECTION
- GRAVEL FILTER BAGS
- SEDIMENT CONTROL ROLLS
- TEMPORARY GRAVEL DRIVE
- STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)
- CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA (FIELD LOCATE)
- EXCESS CUT/SPOILS AREA
- CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)

GENERAL NOTES

1. DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.

2. CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD.

3. STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.

4. RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.

5. ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.

6. FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION PREVENTION PLAN.

7. STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.

8. AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.

9. BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS.

10. BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS.

11. UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.

12. WHERE VEGETATED FILTER STRIPS ARE INDICATED, CONTRACTOR SHALL VERIFY THAT SUFFICIENT VEGETATION EXISTS, OTHERWISE CONTRACTOR SHALL PLACE SILT FENCING IN LIEU OF VEGETATED FILTER STRIP.

WATER (SAWS PRESSURE ZONE 930)

Developer's Name: Lennar Homes of Texas, Inc.
Address: 1922 Dry Creek Way, Suite 101
City: San Antonio State: Texas ZIP: 78259
Phone# xx FAX# xx
SAWS Block Map# xx Total EDU's xx Total Acreage 13.96
Total Linear Footage of Pipe: 0 LF Plat No. xxxxxx
Number of Lots N/A SAWS JOB NO. 22-6025

SWP3 MODIFICATIONS

DATE	SIGNATURE	DESCRIPTION

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE TPDES-STORM WATER POLLUTION PREVENTION PLAN (SWP3) REGULATIONS.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF THE SWP3 ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 2

NO.	REVISION	DATE
2	ADDENDUM NO. 2	07/06/23

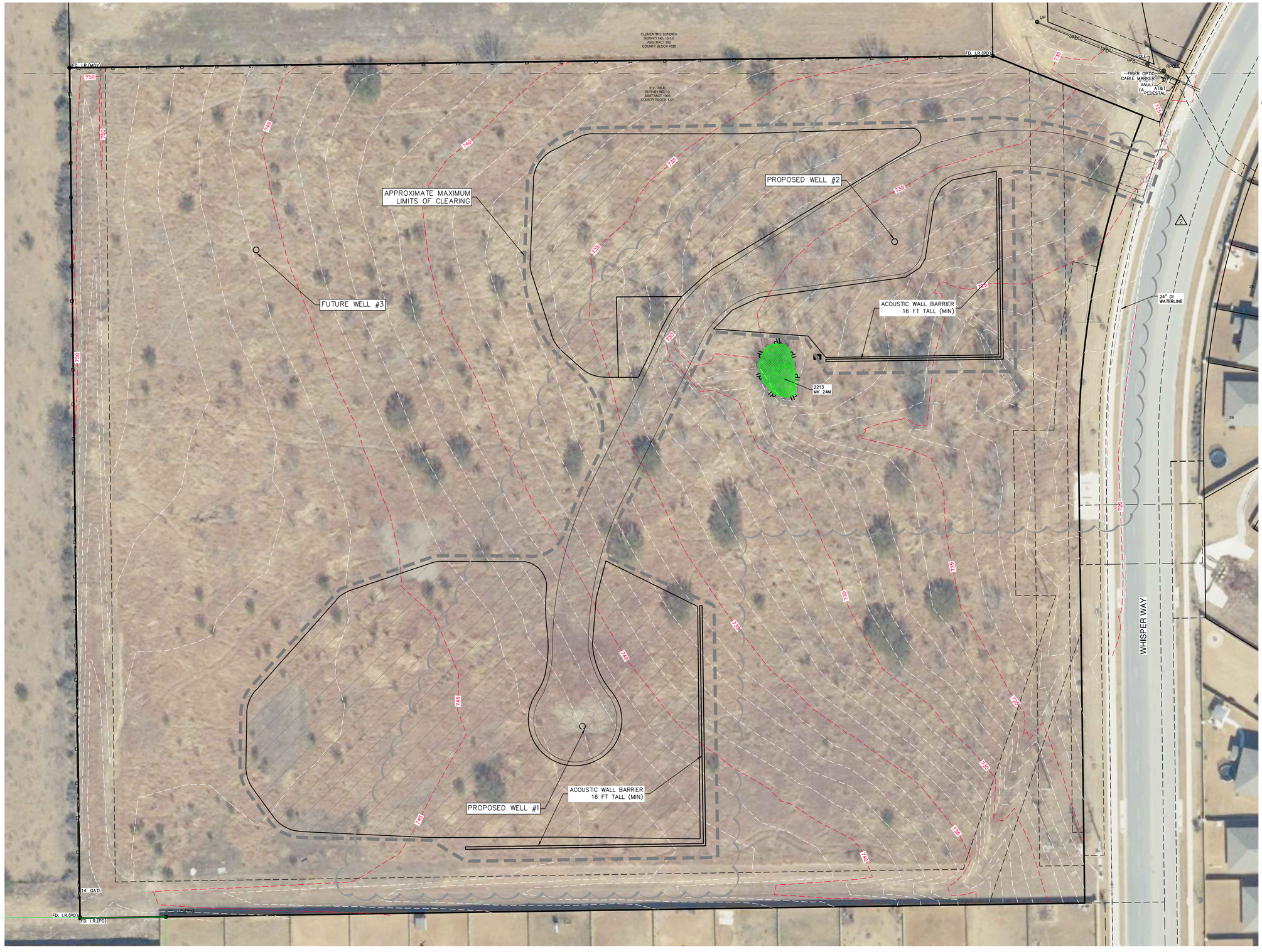
STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
3/15/2023

PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
STORMWATER POLLUTION PREVENTION PLAN

PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C3.01

Date: Jul 11, 2023, 8:49am User ID: dlaughlin
File: P:\116\50\00\Design\Civil\Sheets\Well Sheets\SW3PPH-165000.dwg



SCALE: 1"= 40'

0' 40' 80' 120'

LEGEND

- CANOPY TO BE PRESERVED
- CANOPY TO BE REMOVED
- TREES TO BE PRESERVED
- TREES TO BE REMOVED
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- TEMPORARY GRAVEL DRIVE
- TREE PROTECTION - TP - TP -
- CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA (FIELD LOCATE)
- CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)

NO.	REVISION	DATE
2	ADDENDUM NO. 2	07/06/23

STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
3/15/2023

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
TREE PRESERVATION PLAN SHEET 1

PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C4.01

Date: Jul 11, 2023, 8:49am User ID: dlaughlin
File: P:\116\50\00\Design\Civil\Sheets\Well Sheets\TPW-1165000.dwg

CALLED 20.016 ACRES
RIGHT OF FIRST REFUSAL
(VOL. 12881, PGS. 1546–1555, O.P.R.)

REMAINDER OF CALLED 115.0 ACRES
SCHRAEDER FAMILY LIVING
REVOCABLE TRUST
(VOL. 8600, PGS. 897–900, O.P.R.)

13.970 ACRES
CITY OF SAN ANTONIO WATER SYSTEMS
(VOL. 16719, PGS. 690–696, O.P.R.)

CALLED 56.159 ACRES
RIGHT OF FIRST REFUSAL
(VOL. 12881, PGS. 1498–1504, O.P.R.)

REMAINDER OF 172.194 ACRES
ROY RUIZ
(VOL. 8190, PGS. 1533–1536, O.P.R.)

FUTURE WELL #3

PROPOSED WELL #2

PROPOSED WELL #1

TEMPORARY GRAVEL DRIVE

ACOUSTIC WALL BARRIER
16 FT TALL (MIN)

100.0'

28' ELECTRIC EASEMENT

25' DRAINAGE EASEMENT

30' DRAINAGE EASEMENT

28' GAS, ELECTRIC, TELEPHONE & CABLE EASEMENT

EX CULVERTS (2)

EX CONCRETE RIP-RAP & HEADWALL

EX 24" DI PIPE

WHISPER WAY

WHISPER CROSSING

902
BLK 5

30
BLK 7

40
BLK 7

36
BLK 7

SCALE: 1" = 50'

0' 50' 100' 150'

LEGEND

- PROPERTY LINE
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- CHAIN-LINK SECURITY FENCE
- TEMPORARY GRAVEL DRIVE
- PROPOSED FIRE HYDRANT
- EXISTING TREE TO REMAIN

NOTE

REFER TO SHEET C6.03 FOR DIMENSION CONTROL POINT TABLE.

WATER (SAWS PRESSURE ZONE 930)

Developer's Name: Lennar Homes of Texas, Inc.
Address: 1922 Dry Creek Way, Suite 101
City: San Antonio State: Texas ZIP: 78259
Phone#: xx FAX#: xx
SAWS Block Map#: xx Total EDU's: xx Total Acreage: 13.96
Total Linear Footage of Pipe: 0 LF Plat No.: xxxxxx
Number of Lots: N/A SAWS JOB NO.: 22-6025

NO.	REVISION	DATE
1	ADD ACOUSTIC SOUND WALL	06/30/23
2	ADDENDUM NO. 2	07/06/23

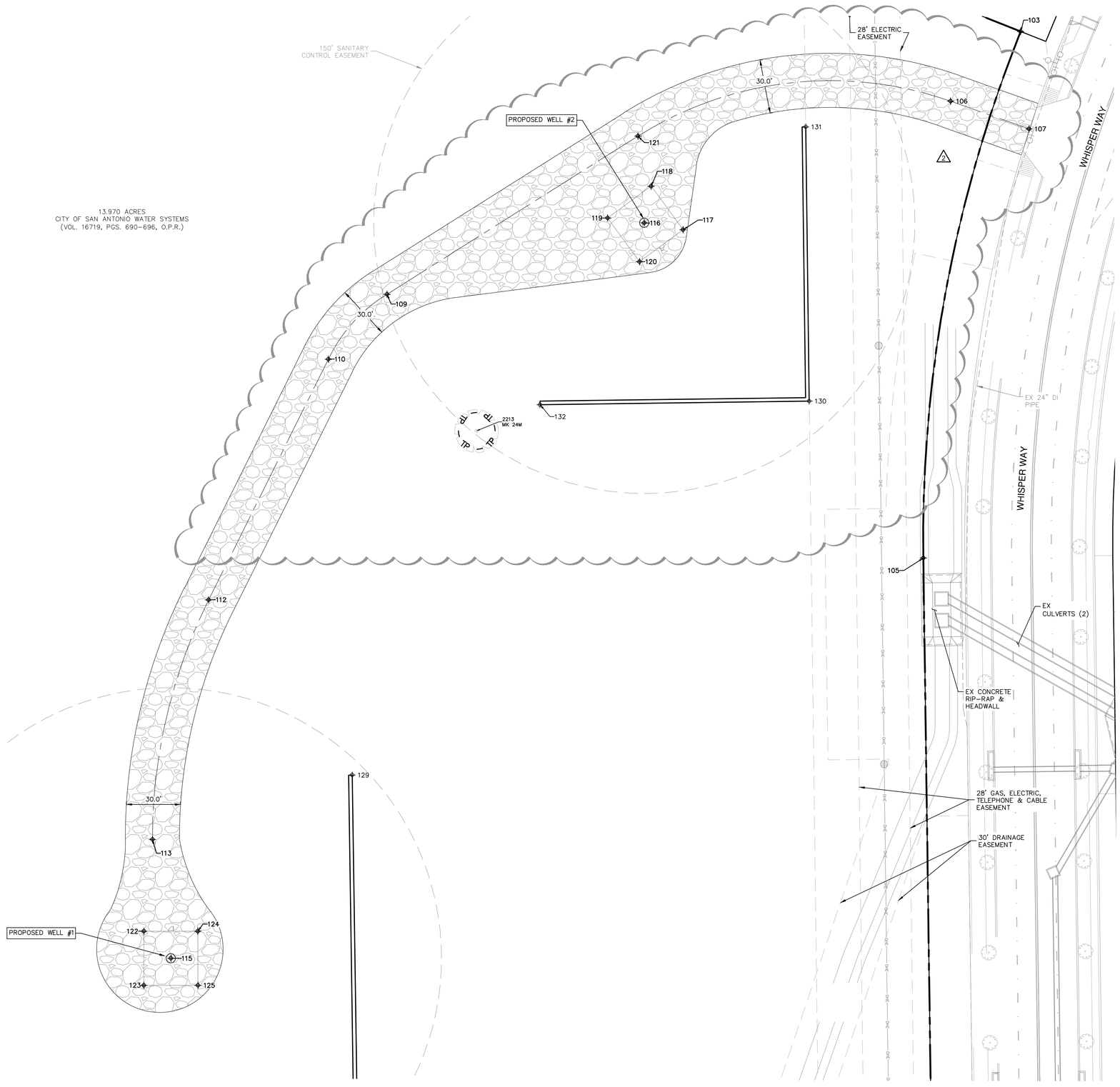
STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
7/11/2023

PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
OVERALL DIMENSION CONTROL PLAN

PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C6.01

Date: Jul 11, 2023, 8:50am User ID: dlaughlin
File: P:\11650\00\Design\Civil\Sheets\Well Sheets\DCW-1165000.dwg



POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
100	13684195.10	2045610.18	PROPERTY CORNER
101	13684910.20	2045601.35	PROPERTY CORNER
102	13684920.12	2046378.33	PROPERTY CORNER
103	13684870.15	2046503.69	PROPERTY CORNER
104	13684207.74	2046454.88	PROPERTY CORNER
105	13684578.24	2046449.75	PROPERTY CORNER
106	13684831.50	2046464.87	CENTER GRAVEL DRIVE
107	13684816.12	2046508.37	CENTER GRAVEL DRIVE
109	13684724.48	2046152.50	CENTER GRAVEL DRIVE
110	13684688.50	2046119.97	CENTER GRAVEL DRIVE
112	13684555.03	2046053.60	CENTER GRAVEL DRIVE
113	13684422.31	2046022.46	CENTER GRAVEL DRIVE
114	13684756.66	2045757.60	WELL #1
115	13684356.44	2046032.66	WELL #3
116	13684764.05	2046295.06	WELL #2
117	13684760.24	2046316.63	FENCE CORNER
118	13684784.37	2046298.93	FENCE CORNER
119	13684766.75	2046274.78	FENCE CORNER
120	13684742.59	2046292.46	FENCE CORNER
121	13684812.13	2046291.57	CENTER GRAVEL DRIVE
122	13684371.44	2046017.66	FENCE CORNER
123	13684341.44	2046017.66	FENCE CORNER
124	13684371.41	2046047.59	FENCE CORNER
125	13684341.44	2046047.66	FENCE CORNER
127	13684252.95	2045934.20	ACOUSTIC WALL BARRIER
128	13684255.98	2046136.17	ACOUSTIC WALL BARRIER
129	13684457.95	2046133.15	ACOUSTIC WALL BARRIER
130	13684665.21	2046386.47	ACOUSTIC WALL BARRIER
131	13684817.28	2046384.53	ACOUSTIC WALL BARRIER
132	13684663.31	2046237.32	ACOUSTIC WALL BARRIER

SCALE: 1"= 30'

0' 30' 90' 120'

LEGEND

- PROPERTY LINE
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- CHAIN-LINK SECURITY FENCE
- PROPOSED WATER LINE
- FUTURE WATER LINE
- TEMPORARY GRAVEL DRIVE 8" THICK
- PROPOSED FIRE HYDRANT
- EXISTING TREE TO REMAIN

NOTE

REFER TO SHEET C6.03 FOR DIMENSION CONTROL POINT TABLE.

WATER (SAWS PRESSURE ZONE 930)

Developer's Name: Lennar Homes of Texas, Inc.
Address: 1922 Dry Creek Way, Suite 101
City: San Antonio State: Texas ZIP: 78259
Phone# xx FAX# xx
SAWS Block Map# xx Total EDU's xx Total Acreage 13.96
Total Linear Footage of Pipe: 0 LF Plat No. xxxxxx
Number of Lots N/A SAWS JOB NO. 22-6025

NO.	REVISION	DATE
2	ADDENDUM NO. 2	07/06/23

STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
Maurice Lee Niles
3/15/2023

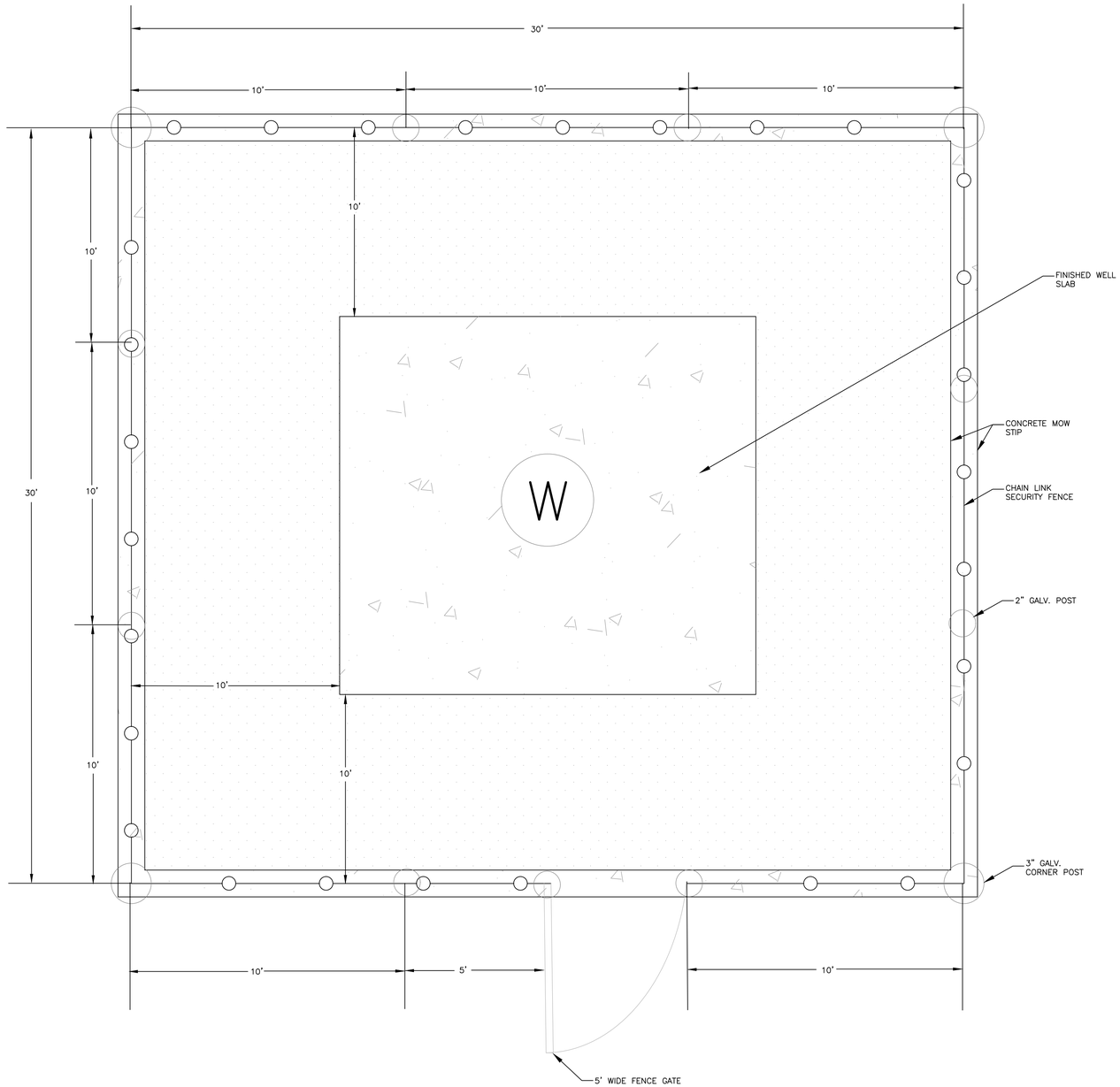
PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
DIMENSION CONTROL PLAN SHEET

PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C6.02

GENERAL NOTES

1. CONTRACTOR TO PROVIDE CHAIN LINK SECURITY FENCE AS SHOWN ON DRAWING. CONTRACTOR SHALL REFER TO SAWS WEBSITE (HTTPS://APPS.SAWS.ORG/BUSINESS_CENTER/SPECS/CONSTSPECS) FOR CURRENT STANDARD DETAILS FOR CONSTRUCTION (FENCE DETAILS SAWS 845).
2. FENCE SHALL BE 8' TALL, WITH DUAL SETS OF 3-STRAND BARBED WIRE AT TOP OF FENCE.



SECURITY FENCE

NOT-TO-SCALE

NO.	REVISION	DATE
2	ADDENDUM NO. 2	07/06/23

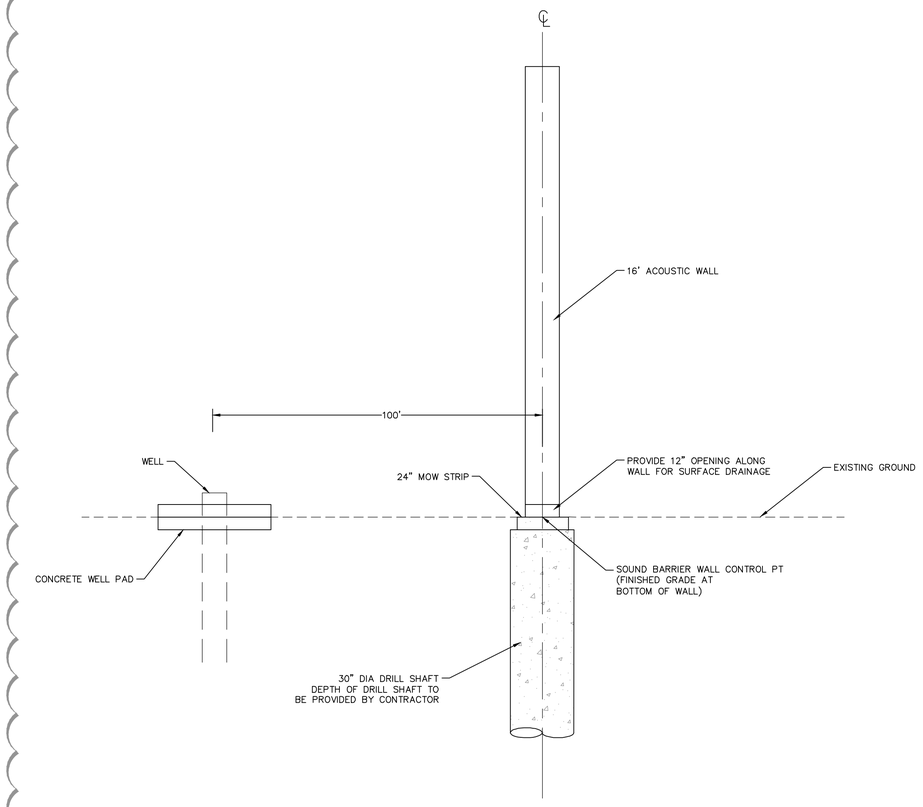
STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
3/1/2023

PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
SECURITY FENCE CONSTRUCTION

PLAT NO. N/A
JOB NO. 11650-00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C7.02

Date: Jul 11, 2023, 8:50am User ID: dlaughlin
File: P:\11650\00\Design\Civil\Sheets\Well Sheets\WTDTM-1165000.dwg



ACOUSTIC SOUND BARRIER WALL

NOT–TO–SCALE

GENERAL CONSTRUCTION NOTES:

1. DESIGN THE ACOUSTICAL SOUND WALL BARRIER IN ACCORDANCE WITH CURRENT AASHTO GUIDE SPECIFICATIONS FOR STRUCTURAL DESIGN OF SOUND BARRIERS. DESIGN CONNECTIONS OF THE NOISE WALL TO THE FOUNDATIONS USING A FACTOR OF SAFETY OF TWO (2) AGAINST WIND LOAD, IN ADDITION TO OTHER LOAD COMBINATIONS AS SPECIFIED.
2. FINAL WALL CONSTRUCTION DETAILS, STRUCTURAL DESIGNS, CONSTRUCTION SCHEMATICS TO BE PREPARED BY CONTRACTOR, AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER OF THE STATE OF TEXAS. FINAL DRAWINGS, DETAILS TO BE PROVIDED AS A SHOP DRAWING FOR REVIEW AND APPROVAL BY THE ENGINEER.
3. CONTRACTOR TO FIELD LOCATE LIMITS OF ACOUSTIC SOUND BARRIER WALLS IN THE FIELD FOR ENGINEER APPROVAL PRIOR TO START CONSTRUCTION.
4. ACOUSTIC SOUND WALL BARRIER TO INCLUDE A 12" HIGH OPENING ALONG BOTTOM OF WALLS FOR SURFACE DRAINAGE.
5. CONTRACTOR TO FIELD LOCATE ANY OTHER OPENINGS REQUIRED FOR WELL TESTS, CONSTRUCTION, ETC.
6. DRILLED SHAFTS SHALL BE PLACED AT DEPTHS AND SPACING RECOMMENDED BY STRUCTURAL DESIGN.
7. THE OWNER OR ITS ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, CONSTRUCTION TECHNIQUES AND PROCEDURES TO PERFORM THE WORK. SUPERVISION OF THE DESIGN, CONSTRUCTION SHALL BE BY THE CONTRACTOR.
8. CONTRACTOR SHALL VISIT THE SITE AND CONFIRM SITE CONDITIONS WHICH MAY ADVERSELY IMPACT THE DESIGN AND OR CONSTRUCTION.
9. CONTRACTOR SHALL REMOVE ALL WALLS, MOW STRIPS, FOUNDATION SHAFTS, AND RELATED ITEMS FROM PROJECT SITE AFTER COMPLETION AND ACCEPTANCE OF COMPLETED WELLS AT THE DIRECTION OF THE ENGINEER.
10. ALL PRODUCTS AND MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND SUITABLE FOR USE IN THIS APPLICATIONS.
11. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDING".
12. SURFACE GRADING NEAR ACOUSTIC SOUND BARRIER WALL SHALL BE COMPLETED TO MANAGE SURFACE DRAINAGE WITHOUT PONDING ADJACENT TO WALL FOUNDATIONS.
13. WALL CONSTRUCTION SHALL PROTECT DESIGNATED TREES AS SHOWN ON THE DRAWINGS.
14. CONCRETE COMPRESSIVE STRENGTHS

	MIN F'c (28 DAYS)	SLUMP
PIERS	3,000 psi	3" – 5"
FENCE PANELS	5,000 psi	3" – 5"
OTHER USES	3,000 psi	3" – 5"

NO.	REVISION	DATE
1	ADD ACOUSTIC SOUND WALL	06/30/23
2	ADDENDUM NO. 2	07/06/23

STATE OF TEXAS
MAURICE LEE NILES
59700
LICENSED
PROFESSIONAL ENGINEER
3/15/2023

PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

MEADOW SPRINGS PUMP STATION
WELLS NO.1 AND NO.2
SAN ANTONIO, TEXAS
ACOUSTIC SOUND WALL BARRIER DETAILS

PLAT NO. N/A
JOB NO. 11650–00
DATE MARCH 2023
DESIGNER RG
CHECKED LN DRAWN AL
SHEET C7.03

Date: Jul 11, 2023, 8:50am User ID: dlaughlin
File: P:\11650\00\Design\Civil\Sheets\Well Sheets\WTDTW-11650D0.dwg